



City of Cerritos Department of Community Development  
Civic Center • 18125 Bloomfield Avenue  
P.O. Box 3130 • Cerritos, California 90703-3130  
Phone: (562) 916-1201 • Fax: (562) 916-1371  
[www.cerritosgis.com](http://www.cerritosgis.com) • [www.cerritos.gov](http://www.cerritos.gov)

## ROOM ADDITION APPLICATION CHECKLIST

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### ROOM ADDITION APPLICATION

Submittal requirements for Room Addition Application are listed below. Please include the following items:

#### 1) PLANNING APPLICATION: Room Addition Application

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Include all required plans/drawings/calculations listed in the application
- ☐ Homeowner's signature required
- ☐ If property is located in a homeowners association, complete HOA Approval Form at <https://www.cerritos.gov/media/ilchd5c3/hoa-approval-form.pdf>

If you have any questions, please call the Planning Division at (562) 916-1201.

#### 2) BUILDING PERMIT APPLICATION

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Complete Declaration Form
  - ☐ If owner-builder, complete columns 1 and 3
  - ☐ If contractor, complete columns 2 and 3

If you have any questions, please call the Building & Safety Division at (562) 916-1209.

Submit forms together, with all required plans/drawings, at <https://forms.cerritos.gov/City-of-Cerritos/Community-Development/Application-Plan-Submittal-Form>

For more detailed information regarding the process for online submittal, please read the *Planning/Building Electronic Submittal Procedure* at <https://www.cerritos.gov/media/mjufcss3/electronic-submittal-procedure.pdf>

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#### 3) BUSINESS LICENSE REQUIREMENT

If you are a contractor, you must have a valid City of Cerritos business license. Please call the Business License Division at (562) 916-1236 to confirm active status or apply at [permits.cerritos.gov](http://permits.cerritos.gov)

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# ROOM ADDITION APPLICATION

## Homeowner Information

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Zoning (*check with City*) ☐ RS-5000 ☐ RS-6500 ☐ Other: \_\_\_\_\_

Tract Number: \_\_\_\_\_ Lot Number: \_\_\_\_\_

## Contractor Information

Name of Company: \_\_\_\_\_

Contact Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

State License Number: \_\_\_\_\_ City Business License Number: \_\_\_\_\_

## Reroofing Information (to be completed by the applicant)

1. Existing roofing material: \_\_\_\_\_

2. Total area of existing roof: \_\_\_\_\_ sq. ft.

3. Area and percentage of existing roof to be removed replaced or covered: \_\_\_\_\_ sq. ft.

\_\_\_\_\_ % (percentage)

[If 40% or more, roofing is subject to provisions of Cerritos Municipal Code,  
Section 22.22.700 (23) (d)]

4. New roofing material: \_\_\_\_\_

a. Manufacturer: \_\_\_\_\_

b. Style: \_\_\_\_\_

c. Color (Check with City): \_\_\_\_\_

5. Window replacements? ☐ Yes ☐ No

Ordinance No. 562 and Resolution No. 83-85 established rates and awarded an exclusive franchise contract to Cerritos Disposal Company. All accounts in the City are to be serviced by Cerritos Disposal Company [Cal Met (562) 869-0901]

Property Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Contractor's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(Office use only)

## Community Development Approval

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_ AP # \_\_\_\_\_

## **INFORMATION REQUIRED FOR ROOM ADDITION APPROVAL**

The City of Cerritos has developed a Residential Design Manual to guide the design of single-family residential projects. Prior to submitting the Room Addition Application, begin by using the Residential Design Manual and its design checklist when preparing initial plans for design review by the Project Planner. The Residential Design Manual is available at the Community Development Department and on the City of Cerritos website at:

<https://www.cerritos.gov/media/Invlo5ek/residential-design-manual.pdf>

1. Plans that are submitted must be in a 24"x 36" size format.
2. The plot plan shall be drawn to scale showing all dimensions of the lot, all dimensions of the existing residence, and the proposed room addition (a roof plan shall not be accepted as a plot plan). The plot plan shall include all existing improvements on the property, for example, covered patios, swimming pools, spas, solar panels, skylights, chimneys, air-conditioning units, driveways, block walls, and gates (including heights). In addition, the plot plan shall include the sidewalk, parkway, and street immediately fronting the property. All building setbacks shall be clearly indicated.
3. The floor plans shall be drawn to scale showing the existing structure and the proposed addition. The structural elements of the proposed addition shall be shown darker than those of the existing structure. All new areas shall be shown by hatching or the use of shading film. All floor plans shall be complete and show locations of all doors and windows. All dimensions must be shown.
4. Exterior elevations shall be drawn to scale showing the entire exterior wall of the existing residence and the proposed room addition. All elevation sides which are affected by the addition must be shown. Indicate any proposed architectural features, type of roofing, wood trim treatment and finish materials.

Within said plans the applicant shall incorporate design elements in order to satisfy the following condition of approval:

**Enhanced Architectural Detailing:** For all new two-story room additions the property owner/developer shall be required to incorporate enhanced architectural detailing on all building elevations. Architectural detailing may include, but shall not be limited to, the use of enhanced building materials such as stone, brick and wood siding, as well as raised stucco banding/window trim and decorative shutters. In addition, the incorporation of building projections and offsets along the subject building elevation may also be used to assist in creating visual interest and depth. The design, materials and treatments to be applied to the building elevation shall be subject to the review and approval of the Department of Community Development.

5. For all second floor room additions, submit:

A plot plan map showing the approximate location of residences on abutting lots. Indicate on the plan if the homes are on one or two-story. Show existing window locations on the 1<sup>st</sup> and 2<sup>nd</sup> floors of the proposed addition and on the facades of the adjacent homes that the addition may impact. All windows must be staggered to avoid intrusion of privacy on any other homes.

6. After plans have been approved by the Community Development Department, City staff will mail letters to the adjacent property owners allowing them 10 calendar days to comment on the drawings. No permits will be issued during this 10-day period.
7. For larger additions (over 900 square feet) see a Planner for precise plan application. Approval of these additions requires a public hearing and approval by the Planning Commission. In addition, the following policy was approved by the Planning Commission on May 25, 1995:

"In order to insure that the intent and purpose of Section 22.22.700, Subsection 27, of the RS-Single Family Zone ordinance is maintained, it shall be the policy of the Cerritos Planning Commission that applications for residential structure additions and modifications whose gross floor area calculations are within ten (10) percent of the 900 square foot limit, may require a precise plan and approval by the Planning Commission, subject to the discretion of the Director of Community Development."

8. Submit three (3) copies of the above information with completed application and homeowner's signature to the City of Cerritos, Department of Community Development, for plan review, approval and Building and Safety permits.
9. For a total re-roof, a separate roofing permit must be obtained concurrently with the permits for the room addition. Proposed roofing materials must comply with current municipal code requirements.
10. For a property that is part of a homeowner's association, please do the following:
  - a. Submit three (3) copies of the drawings with the completed application to the Department of Community Development for preliminary plan review.
  - b. Obtain approval stamp and signatures of the homeowner's association on plans approved by the Department of Community Development.
  - c. Submit HOA Approval Form completed by the property owner and an authorized HOA representative, which is available on the City of Cerritos website at <https://www.cerritos.gov/media/ilchd5c3/hoa-approval-form.pdf>
  - d. Submit plans to the Building and Safety Division for their review.
  - e. Obtain building permits.
11. Prior to submitting room addition plans for City Planning review, please verify that the proposed building Setbacks, Lot Coverage and Floor Area Ratio (F.A.R) meet the Cerritos Municipal Code requirements. See setback and lot coverage worksheet included in this application. The maximum Floor Area Ratio (F.A.R) allowed in the RS-5000 and RS-6500 Single-Family Residential zone is 0.70.
12. **Portable Toilet.** No more than one (1) portable toilet shall be permitted on-site during demolition and/or construction, and said toilet shall be strategically placed and oriented in a manner to effectively minimize aesthetic and visual impacts to surrounding residences.
13. Please note, all projects in excess of 900 square feet in total area will be subject to the provisions of the City of Cerritos Construction and Demolition (C&D) Debris Diversion Ordinance in order to insure compliance with State mandated recycling requirements. The provisions of said ordinance provide residents with two options for compliance:
  - a. Contracting with the City's waste hauler, Athens Services, for your project's waste hauling services automatically brings your project into compliance with the C&D Ordinance.
  - b. If your C&D waste will be hauled by anyone other than Athens services, the project will be subject to a refundable deposit in the amount of \$.50 per square foot of project area and you will be responsible for recycling at least 50% of the C&D waste generated from the project. Upon submission of documentation verifying that said recycling requirements were met, the deposit will be refunded.

Projects under 900 square feet in area are exempt from the C&D ordinance. For additional information please contact your project planner at (562) 916-1201 or the Building and Safety Division at (562) 916-1270.

Please reproduce or paste (sticky back or scan) this chart on the first sheet of plans submitted for planning review. Room additions cannot be reviewed without these statistics.

STATISTICS	
<b>Zoning</b>	RS-
<b>Property Area</b>	sq. ft.
<b>Existing</b>	
First floor	sq. ft.
Second floor	sq. ft.
Garage (___-car)	sq. ft.
<b>Total</b>	sq. ft.
<b>Proposed</b>	
First-floor addition	sq. ft.
Second-floor addition	sq. ft.
Garage (___-car) addition	sq. ft.
<b>Total</b>	sq. ft.
<b>Resulting Project</b>	
First floor	sq. ft.
Second floor	sq. ft.
Garage (___-car)	sq. ft.
<b>Total Floor Area</b> (with garage)	sq. ft.
<b>Total Floor Area</b> (without garage)	sq. ft.
<b>Overhangs Over 30"</b>	sq. ft.
<b>Building Coverage</b> (First Floor + Garage + Overhangs) ÷ Property Area x 100 (RS-5000: 45% max. allowed; RS-6500: 40% max. allowed)	%
<b>Floor Area Ratio</b> Total Floor Area <i>with</i> Garage ÷ Property Area (0.70 maximum allowed)	
<b>Rear Yard Open Space</b> (20% minimum required)	sq. ft. (___% of property area)
<b>Front Yard Area</b>	
Existing Front Yard Area	sq. ft.
Existing Front Yard Landscaping	sq. ft.
Proposed Front Yard Area	sq. ft.
Proposed landscaping (40% minimum required)	sq. ft. (___% of proposed front yard area)

## IMPLEMENTATION STANDARDS

- A. Ten foot (10) minimum setback from rear property line, block wall or fence, whichever is closest, for one or two-story room additions not abutting an arterial highway.
- B. Ten foot (10) minimum setback from rear property line, block wall or fence, whichever is closest, for a one-story room addition abutting an arterial highway.
- C. Twenty Foot (20) minimum setback from rear property line, block wall or fence, whichever is closest, for a two-story room addition abutting an arterial highway.
- D. For lots zoned RS-5000 and RS-6500, side yard setbacks shall be five (5) feet minimum from the wall or property line, whichever is closer.
- E. A one-story room addition shall have a minimum ten (10) foot setback and a two-story room addition shall have a minimum fifteen (15) foot setback from the wall or property line, whichever is closer, for a side yard abutting a street.
- F. Check with City of Cerritos, Department of Community Development, for front yard setback requirements.
- G. Within the rear thirty (30) feet of the lot, there shall be a minimum rear yard area of twenty (20) percent total lot area.
- H. The maximum allowable lot coverage for property, zoned RS-5000 shall be forty-five (45) percent of the total lot area, and forty (40) percent of the total lot area for property zoned RS-6500.

## LOT COVERAGE CALCULATION

1.	THE TOTAL SQUARE FOOTAGE OF THE LOT:	
2.	INDICATE IF THE LOT IS ZONED RS-5000 OR RS-6500: IF THE LOT IS ZONED RS-5000, TAKE 45% OF #1: IF THE LOT IS ZONED RS-6500, TAKE 40% OF #1:	
3.	THE SQUARE FOOTAGE OF THE FIRST FLOOR INCLUDING THE GARAGE AND ANY OVERHANGS OVER 30" IS:   (#3 MUST BE LESS THAN #2)	EXISTING
		ADDITION
		TOTAL
<b>REAR YARD COVERAGE CALCULATION</b>		
4.	TWENTY PERCENT (20%) OF THE SQUARE FOOTAGE OF THE LOT IS:	
5.	CALCULATE THE SQUARE FOOTAGE OF THE REAR YARD. THIRTY FEET (30'-0") OF THE LOT MULTIPLIED BY THE FULL WIDTH OF THE LOT IS:	
6.	THE SQUARE FOOTAGE OF ANY BUILDING ENCROACHMENT INTO THE REAR (THIRTY FEET 30'-0" X FULL WIDTH OF LOT IS:	EXISTING
		ADDITION
		TOTAL
7.	SUBTRACT #6 FROM #5 = [OPEN SPACE IN REAR THIRTY FEET (30'-0") OF THE LOT]  (#7 MUST BE GREATER THAN #4)	

## **BUILDING PLANS AND SPECIFICATIONS**

Plans to be checked by the Building Plan Checker require three (3) complete sets in a 24" x 36" size format showing or listing the following:

1. Plan or elevation views, drawn to scale with necessary dimensions, showing the following information:
  - a. Plot plan – lot dimensions, least right angle (or radial) distance from the property line to proposed structure, distance between other structures on the same lot, north arrow, adjacent street name(s);
  - b. Floor plan – room(s) use, window and door sizes and types, ceiling and bracing (to resist wind/seismic forces);
  - c. Foundation plan – concrete slab extent, thickness and reinforcement (if any), footing sections, anchor bolt size and spacing;
  - d. Roof plan – rafter size spacing and direction, pitch (slope) of roof, eave overhang dimension, type of roof cover;
  - e. Exterior elevations – one from each cardinal direction indicating exterior sheathing (finish), window and door placement and trim, roof configuration;

Within said plans the applicant shall incorporate design elements in order to satisfy the following condition of approval:

**Enhanced Architectural Detailing:** For all new two-story room additions the property owner/developer shall be required to incorporate enhanced architectural detailing on all building elevations. Architectural detailing may include, but shall not be limited to, the use of enhanced building materials such as stone, brick and wood siding, as well as raised stucco banding/window trim and decorative shutters. In addition, the incorporation of building projections and offsets along the subject building elevation may also be used to assist in creating visual interest and depth. The design, materials and treatments to be applied to the building elevation shall be subject to the review and approval of the Department of Community Development. Cross-sections – typical full height section indicating top plate height, ceiling/floor joists, roof and floor deck material, interior finish material, batt insulation R-value and location in walls, and roof/ceiling; special detail sections such as structural connection, stairway run and rise, framing.

2. Specifications and materials:
  - a. Framing, lumber, species and grade;
  - b. Plywood type, grade thickness, span index numbers and nailing schedule;
  - c. Concrete strength (200 PSI at 28 days maximum);
  - d. Concrete reinforcement size, standard and grade;
  - e. Roof cover and necessary underlayment;
  - f. Exterior and interior finish materials.
3. General notes and information;
  - a. Owner's name;
  - b. Designers name;
  - c. Job address;
  - d. Security requirements for exterior doors and windows;
  - e. Insulation and weatherstripping;
  - f. Structural calculations (if required).

NOTE: Plan views may be consolidated to fewer plans and general information and specifications called out on plans, sections and elevations may eliminate the need for separate tabling.



## **DEPARTMENT OF COMMUNITY DEVELOPMENT** **ARCHITECTURAL GUIDELINES FOR RESIDENTIAL**

It has always been the goal of the City of Cerritos to achieve and maintain a high degree of environmental and architectural standards throughout the City, particularly within the residential zones. With the escalating cost of high-quality housing in the general area, the City has experienced a large volume of remodeling and the enlarging of the smaller housing units. In order to maintain the desired standards and achieve the architectural design quality in each case, specific design guidelines are listed below for the benefits of the applicants seeking approvals to modify the existing structure. These guidelines have been established in the General Plan and the Cerritos Municipal Code. As new technology and styles appear, these guidelines will be reviewed from time to time to insure that the standards adopted for the residential community are applied.

### **ARCHITECTURAL DESIGN GUIDELINES**

1. **Existing Violations.** No approvals for building permits will be issued on any residential lot where there are code violations, or structures built with no building permits. Approvals for building permits will be issued when the property owner corrects all existing violations.
2. **Roof Scape.** In designing the roof of any residential unit, the lines of the new addition must blend architecturally and be in harmony with existing roof lines.
3. **Roof Material.** The provisions of the re-roofing ordinance shall apply. Under no circumstances a residential addition will be roofed with a different material than the existing. The entire roof area must be surfaced with one material, except in cases where limited flat area exist within the roof. Flat areas shall only be allowed within the roof of the second floor and shall be visible from adjacent land uses.
4. **Design of Exteriors.** The design of the exterior facades must be carefully addressed. In case of second floor additions, the property owner/developer shall be required to incorporate enhanced architectural detailing on all building elevations. Said detailing may include, but shall not be limited to the use of enhanced building materials such as stone, brick and wood siding, as well as raised stucco, banding/window trim and decorative shutters. In addition, the incorporation of building projections and offsets along the subject building elevation may also be used to assist in creating visual interest and depth. The design, materials and treatments to be applied to the building elevation shall be subject to the review and approval of the Department of Community Development.
5. **Colors.** Homeowners must obtain written approvals from the Department of Community Development prior to re-painting the house. The approved color at the time the house was built must be maintained and if the owner desires to make a change, the new color scheme must be first approved by the Department of Community Development. The approval applies for all colors of stucco, wood stains, as well as any other material to be included in the design of the exterior facades.
6. **Noise Mitigation.** Noise mitigation measures shall be applied especially in those cases where the house is in close proximity of a freeway or an arterial street. Mitigation measures shall include special heavy double-glazed windows and wall insulations to insure that the interior noise environment will not exceed 45dBA when all openings are in a closed position. Central air-conditioning units shall be required in 2-story additions for subject lots.

The City of Cerritos has developed a Residential Design Manual to guide the design of single-family residential projects. Prior to submitting the Room Addition Application, begin by using the Residential Design Manual and its design checklist when preparing initial plans for design review by the Project Planner. The Residential Design Manual is available at the Community Development Department and on the City of Cerritos website at: <https://www.cerritos.gov/media/Invlo5ek/residential-design-manual.pdf>

**DEPARTMENT OF COMMUNITY DEVELOPMENT  
ROOM ADDITION  
ARCHITECTURAL PLAN CHECKLIST**

<input type="checkbox"/>	Room Addition Application	Completed Room Addition Application, with property owner signature. Completed lot coverage worksheet found on page 5 of the Room Addition Application.
<input type="checkbox"/>	Minimum Plan Size	All Plans shall be a minimum 24" x 36" sheet size. See item 1 on Page 2 in the Room Addition Application.
<input type="checkbox"/>	Number of Sets required	Three (3) sets of plans required for submittal.
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Proposed</div> <div style="border: 1px solid black; padding: 2px 5px;">Site Plan</div> </div>	Scale: (1" = 10'-0") or (1/8" = 1'-0") See item 2 on Page 2 in the Room Addition Application for further details. The Site Plan must include the statistics chart found on page 4 of the Room Addition Application.
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Existing</div> <div style="border: 1px solid black; padding: 2px 5px;">Site Plan</div> </div>	
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Proposed</div> <div style="border: 1px solid black; padding: 2px 5px;">Floor Plan</div> </div>	Scale: (1/4" = 1'-0") See item 3 on Page 2 in Room Addition Application for further details.
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Existing</div> <div style="border: 1px solid black; padding: 2px 5px;">Floor Plan</div> </div>	
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Proposed</div> <div style="border: 1px solid black; padding: 2px 5px;">Roof Plan</div> </div>	Scale: (1/4" = 1'-0") The Roof Plan shall show the existing roof to remain and the new roof proposed as part of the addition. The existing and proposed roof pitch should be labeled.
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Existing</div> <div style="border: 1px solid black; padding: 2px 5px;">Roof Plan</div> </div>	
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Proposed</div> <div style="border: 1px solid black; padding: 2px 5px;">Elevations</div> </div>	Scale: (1/4" = 1'-0") See item 4 on Page 2 in the Room Addition Application for further details. See Residential Design Manual for suggested design ideas.
<input type="checkbox"/>	<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;">Existing</div> <div style="border: 1px solid black; padding: 2px 5px;">Elevations</div> </div>	
<input type="checkbox"/>	Adjacent Neighbor Window Plan <b>(Second Floor Additions ONLY)</b>	See item 5 on Page 2 in the Room Addition Application.
<input type="checkbox"/>	Homeowner's Association Approval, if applicable	See item 10 on Page 3 in the Room Addition Application.



**City of Cerritos**  
18125 Bloomfield Avenue  
Cerritos, CA 90703  
(562) 916-1209

**Department of Community  
Development**  
Building and Safety Division

(For office use only)

Building Permit #: \_\_\_\_\_  
Trade Permit #: \_\_\_\_\_  
Parent Permit#: \_\_\_\_\_

**Building/Plumbing/Electrical/Mechanical Permit Application**

Applicant's Name: \_\_\_\_\_

Company Name (if applicable): \_\_\_\_\_

Tel. No: \_\_\_\_\_ Email: \_\_\_\_\_ Date: \_\_\_\_\_

Job Site Address: \_\_\_\_\_ Suite: \_\_\_\_\_

Work Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Is this an owner-builder project?

☐ Yes, this is an owner-builder project. As the applicant for an owner-building project, you are required to complete columns 1 and 3 of attached Declaration Form.

Is the job site address your primary residence? ☐ Yes ☐ No (If no, an owner-builder project is not permitted, and the owner must contract exclusively with a licensed contractor.)

☐ No, this is not an owner-builder project. Complete columns 2 and 3 of the attached Declaration Form.

Project Valuation: \_\_\_\_\_ APN#: \_\_\_\_\_

Project Size (sq.ft.): \_\_\_\_\_ Buildings on Lot: \_\_\_\_\_ # of Stories \_\_\_\_\_

Construction Types: \_\_\_\_\_ Occupancy Groups: \_\_\_\_\_

**Type of Permit(s) Requested:** ☐ Building ☐ Plumbing ☐ Electrical ☐ Mechanical

☐ **Owner/Business Name:** \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

☐ **Contractor Name:** \_\_\_\_\_ **Company:** \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

License No: \_\_\_\_\_ Class: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

City Business License No: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

**(Please fill out attached Licensed Contractor's Declaration Form)**

☐ **Architect/Engineer Name:** \_\_\_\_\_ **Company:** \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

License No: \_\_\_\_\_ Class: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

PLUMBING		
Code	Items	Units
03	Backwater Valves	____ Valve(s)
05	Backflow prevention device/sprinkler	____ Device(s)
07	Bathtubs/showers	____ Fixture(s)
11	Clothes washer (tray/standpipe)	____ Fixture(s)
13	Dishwashers	____ Fixture(s)
15	Drinking fountain	____ Fixture(s)
17	Floor drains	____ Fixture(s)
19	Floor sinks	____ Fixture(s)
21	Hose bibbs	____ Fixture(s)
23	Interceptor (clarifier)	____ System(s)
25	Lavatories/sinks	____ Fixture(s)
26	Miscellaneous fixture	____ Fixture(s)
27	Pressure regulator—prv/water	____ Device(s)
29	Roof drains	____ Fixture(s)
35	Solar water heating system	____ System(s)
39	Swimming pool trap and receptor	____ System(s)
41	Trap primer	____ System(s)

Code	Items	Units
45	Water closet/urinal/bidet	____ Fixture(s)
47	Water heater	____ W.H.(s)
49	Water treating equipment (filter, softener)	____ System(s)
51	Low pressure gas sys. (5 outlets or less)	____ System(s)
52	Fee for additional outlets >5	____ Outlet(s)
53	Medium/high pressure gas system	____ System(s)
54	Additional fee for each outlet	____ Outlet(s)
55	Gas meter (private)	____ Meter(s)
56	Gas regulator	____ Reg(s)
60	Drainage/vent piping repair or alter	____ System(s)
62	Greywater system	____ System(s)
63	Water piping replacement branch/fixture	____ Fixture(s)
64	Other water piping < 1 1/2 inches	____ Line(s)
65	Other water piping 2-3 inches	____ Line(s)
66	Other water piping > 3 inches	____ Line(s)

<u>ELECTRICAL</u>					
<u>Code</u>	<u>Items</u>	<u>Quantity</u>	<u>Code</u>	<u>Item</u>	<u>Quantity</u>
B1	Residential new bldgs. Multifamily _____ Sq. Ft.		K1	Signs, outline lgt, one ckt _____ Sign(s)	
B2	Residential new bldgs. 1 or 2 family _____ Sq. Ft.		K2	Additnl, ckt within the same sign _____ Sign(s)	
C1	Swimming pools, new _____ Pool(s)		<u>Power Equipment Over 3hp and Less Than 10hp</u>		
C2	Spas, hot tubs, _____ Pool(s)		JA	Heat pumps _____ Appl(s)	
C3	Pool alterations, other type pools _____ Pool(s)		JB	AC units _____ Appl(s)	
D1	Carnival electrical rides or genrtrs _____ Unit(s)		JD	Battery chargers _____ Appl(s)	
D2	Carnival mech rides, displays w/lgt _____ Unit(s)		JE	Electric water heaters _____ Appl(s)	
D3	Carnival booth lighting _____ Unit(s)		JF	Refrigeration cabinets _____ Appl(s)	
E1	Temporary service, power pole _____ Pole(s)		JG	Electric cooking equipment _____ Appl(s)	
E2	Temporary dist system for const _____ Unit(s)		JH	Electric heaters _____ Appl(s)	
E3	Temp pole for xmas tree lots _____ Pole(s)		JI	Electric generators _____ Appl(s)	
F1	Branch circuits, 120v, 15 or 20a _____ Ckt(s)		J6	Other equipment > 3hp—<10hp _____ Appl(s)	
F2	Branch circuits, lighting, 208-277v _____ Ckt(s)		<u>Special Electrical Items</u>		
G1	Outlets-lighting, recept, switch _____ Outlet(s)		P2	PC residential photo voltaic<10kw _____	
G2	Lighting fixtures _____ Lgt Ftx(s)		P3	Inverter res photo volt <10kw _____	
G3	Pole mounting light fixtures _____ Pole Fxt(s)		P4	PC residential photo volt >10kw<50kw _____	
G4	Theatrical-type lgt fixtures _____ Lgt Ftx(s)		P5	Inverter res photo volt >10kw<50kw _____	
<u>Residential Appliances Less Than 3hp</u>			V2	<=10kw electric vehicle supply equip _____ #Units	
HA	Forced air units (FAU) _____ Appl(s)		V3	>10kw electric vehicle supplie equip _____ #Units	
H1	Electrical ovens _____ Appl(s)		V4	Fast electric vehicle supple equip _____ #Units	
H2	Garbage disposals _____ Appl(s)		<u>Transformers</u>		
H3	Dishwashers _____ Appl(s)		JM	Transformers, <3kva _____ Xfmr(s)	
H4	Range hoods _____ Appl(s)		JN	Transformers, 15kva _____ Xfmr(s)	
H5	Washing machines _____ Appl(s)		JO	Transformers, 25kva _____ Xfmr(s)	
H7	Exhaust fans _____ Appl(s)		JQ	Transformers, 37.5kva _____ Xfmr(s)	
H9	Other residential less than 3hp _____ Appl(s)		JR	Transformers, 45kva _____ Xfmr(s)	
<u>Non Residential Appliances Less Than 3hp</u>			JS	Transformers, 50kva _____ Xfmr(s)	
1A	Exhaust fans _____ Appl(s)		JT	Transformers, 75kva _____ Xfmr(s)	
1B	Electric water heaters _____ Appl(s)		JU	Transformers, 112.5kva _____ Xfmr(s)	
1C	Lighted showcases _____ Appl(s)		JV	Transformers, 150kva _____ Xfmr(s)	
1D	Electric drinking fountains _____ Appl(s)		JW	Transformers, 225kva _____ Xfmr(s)	
1E	Vending machines _____ Appl(s)				
1F	Laundry machines _____ Appl(s)				
J5	Other non-res less than 3hp _____ Appl(s)				

  

<u>Code</u>	<u>Item</u>	<u>Quantity</u>
<u>Motors</u>		
JX	Motors, <3hp _____ Mtr(s)	
JY	Motors, 5hp _____ Mtr(s)	
JZ	Motors, 10hp _____ Mtr(s)	
J0	Motors, 15hp _____ Mtr(s)	
J1	Motors, 20hp _____ Mtr(s)	
J2	Motors, 25hp _____ Mtr(s)	
J3	Motors, 50hp _____ Mtr(s)	
J4	Motors, 100hp _____ Mtr(s)	
<u>Other Power Equipment</u>		
J7	Pwr eq w/rating > 10hp to <50hp _____ Pwr	
J8	Pwr eq w/rating > 50hp to <100hp _____ Pwr	
J9	Pwr eq w/rating > 100hp _____ Pwr	
<u>Services, Panels, Control Panels, MCC's</u>		
LA	100a panels, services, mcc's _____ Pnl(s)	
LB	200a panels, services, mcc's _____ Pnl(s)	
LC	225a panels, services, mcc's _____ Pnl(s)	
LD	400a panels, services, mcc's _____ Pnl(s)	
LE	600a panels, services, mcc's _____ Pnl(s)	
LF	800a panels, services, mcc's _____ Pnl(s)	
LG	1000a panels, services, mcc's _____ Pnl(s)	
LH	1200a panels, services, mcc's _____ Pnl(s)	
LI	1600a panels, services, mcc's _____ Pnl(s)	
IJ	2000a panels, services, mcc's _____ Pnl(s)	
LL	3000a panels, services, mcc's _____ Pnl(s)	
LM	High voltage panels (over 600v) _____ Pnl(s)	
LN	Other panels, 0 to 399 amps _____ Pnl(s)	
LO	Other panels, 400 to 1000 amps _____ Pnl(s)	
LP	Other panels, >1000 amps _____ Pnl(s)	
W1	Cable trays, busways (length) _____ Feet	
M1	Misc conduits & conductors _____ Unit(s)	
P1	Haz locations >2000 sf total _____ Haz	
R1	Report review fee, # of equip _____ Eq	
R2	High voltage report fee, #equip _____ HV Eq	

**COLUMN 1****OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code): Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.)

( ) I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

( ) I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code. The Contractor's State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a license Contractor pursuant to the Contractors' State License Law.).

( ) I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Date: \_\_\_\_\_

\_\_\_\_\_  
Signature of Property Owner or Authorized Agent

**COLUMN 2****LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ License No. \_\_\_\_\_

Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES ARE PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. \_\_\_\_\_

\_\_\_\_ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone Number \_\_\_\_\_

\_\_\_\_ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

JOB ADDRESS

LOCALITY

**COLUMN 3****HAZARDOUS MATERIAL DECLARATION**

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amount specified on the hazardous material information guide?

Yes ☐ No ☐

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines.

Yes ☐ No ☐

I have read the hazardous materials information guide and the SCAQMD permitting checklist. I understand my requirements under the Los Angeles County Code Title 2, Chapter 220 Sections 220.100 through 220.140 concerning hazardous material reporting and for obtaining a permit from the SCAQMD.

**ASBESTOS NOTIFICATION**

☐ Notification letter sent to SCAQMD or EPA

☐ I declare that notification of asbestos removal is not applicable to addressed project.

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a Construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code)

\_\_\_\_\_  
Lender's Name

\_\_\_\_\_  
Lender's Address

By my signature below, I certify to each of the following:  
I am the property owner or authorized to act on the property owner's behalf.  
I have read this application and the information I have provided is correct.  
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.  
I authorize representatives of this county to enter the above-identified property for inspection purposes.

\_\_\_\_\_  
Signature of Property Owner or Authorized Agent

\_\_\_\_\_  
Date